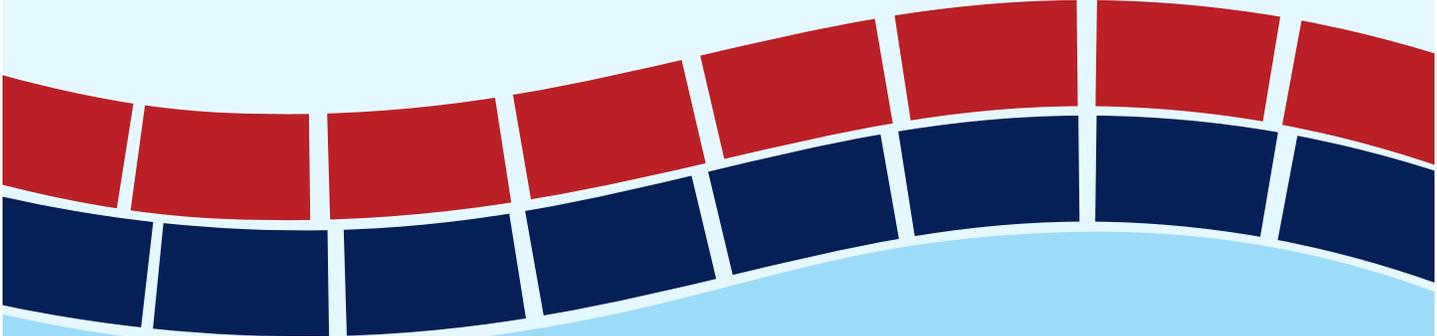




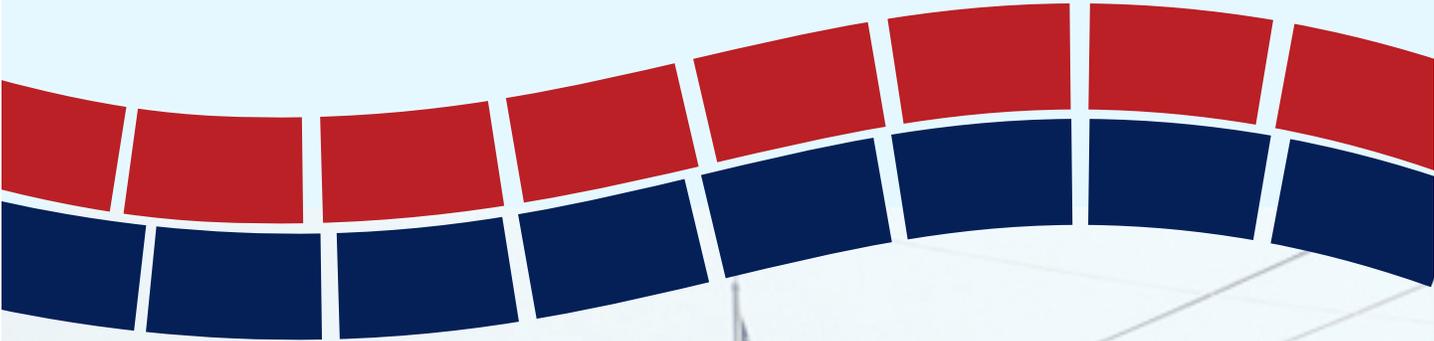
City of
Sharonville
COMMUNITY DEVELOPMENT



RESIDENTIAL

PERMITTING GUIDE





“The Community Development Department is committed to providing outstanding customer service and maintaining a safe, vibrant, and well maintained community for both residents and businesses.”



The Community Development Department staff is happy to assist you with any of your permitting questions.

513-563-0033

permits@cityofsharonville.com

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1. A GUIDE TO RESIDENTIAL PERMITTING IN SHARONVILLE

The Community Development Department is the City of Sharonville's resource for all aspects of building and planning, from strategic planning initiatives to construction approvals, inspections and property maintenance / zoning code enforcement. Effective and proactive Community Development benefits and improves the quality of life for Sharonville residents and businesses. We conduct our daily activities as partners and advocates for all Sharonville residents, businesses, and visitors.

2. SHARONVILLE BUILDING AND ZONING SERVICES

- Residential Building Permit Review
- Zoning Code Review
- General Code Consultation
- Issue Building and Zoning Permits
- Conduct Building and Site Inspections
- Process Variance, Zone Change, and Conditional Use Applications
- Strategic and Comprehensive Planning Initiatives
- Zoning and Property Maintenance Code Enforcement
- Site Development Review and Approvals
- Storm Water Review Information and Approval Coordination
- FEMA and Floodplain management

3. PERMIT INFORMATION

a. How to Fill Out & Submit a Permit:

1. Go onto the City of Sharonville website (<https://www.sharonville.org/>)
2. Hold Cursor over **City Office**
3. Click on **Community Development** under Departments
4. Click on **Online Documents** on the left side of the screen
5. Fill out the form called **“Application for Plan Approval”**
<https://www.sharonville.org/documentcenter/view/4006/application-for-plan-approval>
6. Submit the completed application, **along with two (2) sets of construction plans/drawings required for your project**
7. Once this is completed, **EMAIL TO**
permits@cityofsharonville.com

City of Sharonville
COMMUNITY DEVELOPMENT

Application for Building/Electrical/Zoning Approval

PROJECT #

PROJECT ADDRESS: _____
BUSINESS/TENANT NAME (if applicable): _____

New Construction Interior Alteration Fire Alarm Renovation / Siding Deck Driveway
 Addition Exterior Alteration Suppression Accessory Structure Fence Shed
 Electrical HVAC Kitchen Hood Sign Pool Other (describe)
 Electrical Service Size _____ (Line Drawing Required over 400 AMP)

DESCRIBE PROPOSED WORK: _____
DESCRIBE TYPE OF BUSINESS (if applicable): _____

NAME	ADDRESS (INCLUDE CITY, STATE, & ZIP)	PHONE
Applicant / Contractor		
Owner / Lessee		
Applicant Name (Print)	(Print)	
Applicant Email		

ESTIMATED COST & SQUARE FOOTAGE

Building Structure _____ Suppression/Fire Alarm _____
 HVAC _____ TOTAL PROJECT COST _____
 Miscellaneous _____ SQUARE FOOTAGE _____

BELOW IS FOR OFFICE USE ONLY

Issue Date _____	Approval Fee _____
Use Group _____	Plan Review Fee _____
Constr. Type _____	Fire Dept. Review Fee _____
Approval By _____	Sub Total _____
Zoning District _____	1% (ORC) / 3% (DRC) _____
	TOTAL FEES DUE _____

**** SEE NEXT PAGE FOR COMMERCIAL CONSTRUCTION DOCUMENTATION CERTIFICATION ****

10900 Reading Road - Sharonville, OH 45241
513-563-0033
permits@cityofsharonville.com

Please call the Community Development Department with any questions at

(513)-563-0033



Scan the QR Code to take you to our document page which includes all of our building permit applications.

3. PERMIT INFORMATION

b. Projects Requiring a Building and/ or Zoning Permit:

Typical Projects:

- Above ground and In-Ground Swimming Pools
- Attached or Detached Garages
- Building Additions
- Building Remodeling
- Carports
- Decks/Porches
- Demolitions
- Driveways (A street opening permit from Public Works may be required)
- Electric
- Fences
- Downspouts
- Heating, Ventilation and Air Conditioning (HVAC)
- New residential construction
- Roof Replacement and Repair
- Portable Storage Units / Construction Dumpsters
- Retaining Walls (If over 4 feet in height)
- Sheds or other Accessory Structures
- Window or Door Replacements (If structural alterations are made)

If you're not sure if a permit is required for the work you intend to do, just give us a call at **(513)-563-0033**



4. ELECTRIC PERMITS

In early 2020, the City of Sharonville partnered with National Inspection Corporation (NIC) to perform electric plan review, approvals and inspections in an effort to improve the convenience to residents and businesses.

All electric permits and plans can be emailed or dropped off at the City of Sharonville Community Development Department Office to start the electric permit approval process.

Once the permit is approved, you will be contacted for payment of the electric permit fee, and the permit will be issued.

All electrical inspections are handled directly by NIC.



If you have any general administrative questions about electric permitting, please contact us at

513-563-0033

For specific electric permitting questions please call NIC at

888-433-4642

5. INSPECTIONS

List of Typical Residential Building Inspections

- Soil / Footing Inspection
- Site / Erosion Controls
- Foundation / Steel Reinforcement
- Under Slab / Vapor Barrier
- Framing / Shear Wall
- Above Ceiling HVAC / Duct Seal
- HVAC
- Insulation
- Gas and Pressure piping test
- Temporary structures (tents, special events)
- Temporary Certificate of Occupancy
- Site inspection, elevation certificate if in Flood zone
- Special Inspection final report (if required)
- Final inspection, Certificate of Compliance/ or Certification of Occupancy

Plumbing Permits are issued and inspected by the

**Hamilton County
Health Department**

Electric permits are issued by the City of Sharonville. The plan review and inspection are performed by the

**National Inspection
Corporation (NIC)**

888-433-4642



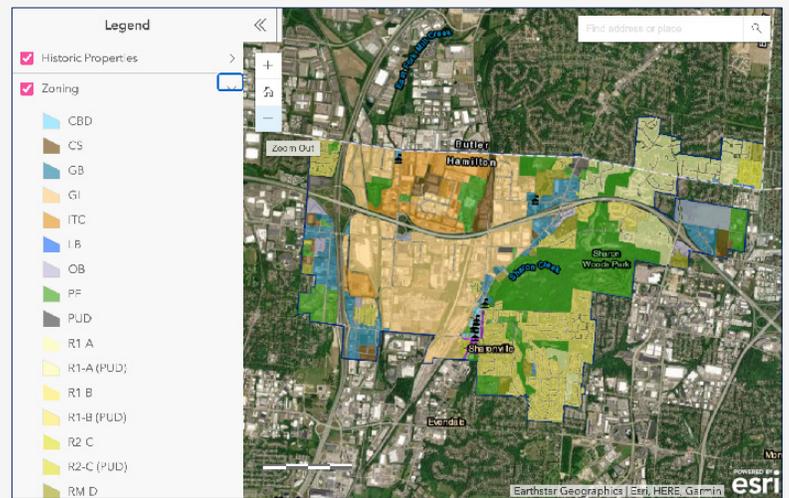
6. CURRENT ZONING MAP

How to Access The Sharonville Zoning Map

1. Go onto the City of Sharonville website sharonville.org
2. Hold Cursor over **City Office**
3. Click on **Community Development** under “Departments”
4. Click on **Zoning Map** on the left side of the screen
5. To find the **legend**, in the top left, click on the two arrows (>>)
6. To see **individual layers and legends**, click on the preferred layer arrow (>) to the right of the name of the layer

Please call the Community
Development Department
with any questions

(513) 563-0033



7. RESIDENTIAL DISTRICT REQUIREMENTS

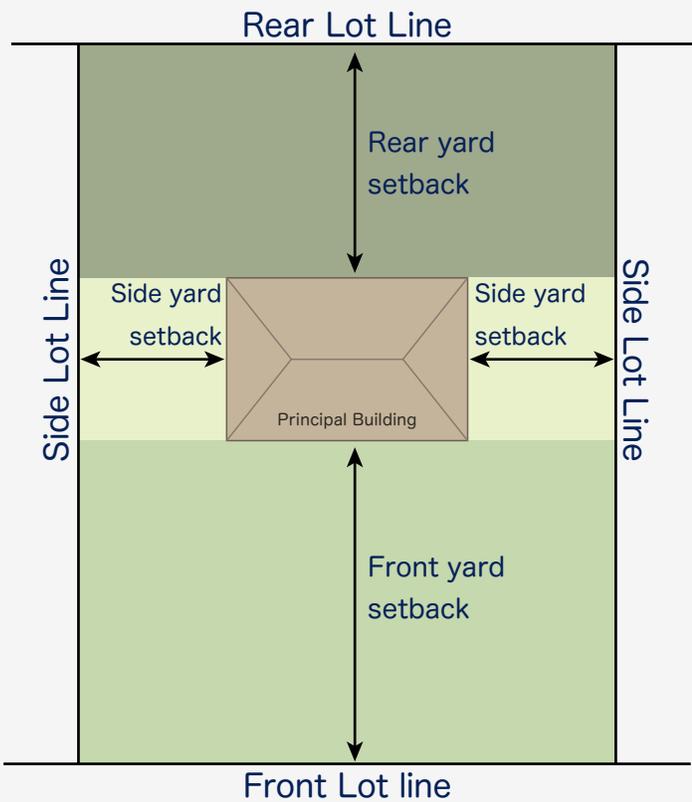
a. Building Setback Table

ZONING DISTRICTS	MINIMUM LOT AREA	MINIMUM LOT WIDTH	FRONT YARD SETBACK	SIDEYARD SETBACK	REAR YARD SETBACK	MINIMUM HEIGHT	MAXIMUM LOT COVERAGE
R1-A	12,000'	100'	40'	15'	35'	35 feet	35%
R1-B	9,600'	80'	30'	10'	35'	35 feet	35%
R2-C	9,600' per each single family dwelling	80' for lots with a single family dwelling	30'	10' for single family dwellings	35'	35 feet	35%
	8,500' per each dwelling unit in a two family house	100' for lots with a two family dwelling		12' for all other dwellings			
	5,445' per each dwelling unit in a rowhouse dwelling	150' for lots with a rowhouse dwelling					
RM-D	9,600' per each single family dwelling	80' for lots with a single family dwelling	30'	10' for single family dwellings	35'	40 feet	35%
	8,500' per each dwelling unit in a two family house	100' for lots with a single family dwelling		12' for all other dwellings that are 2 stories in height or shorter			
	4,000 per each dwelling unit in a rowhouse or multi-family dwelling	200' for lots with rowhouse dwelling		15' for all other dwellings			

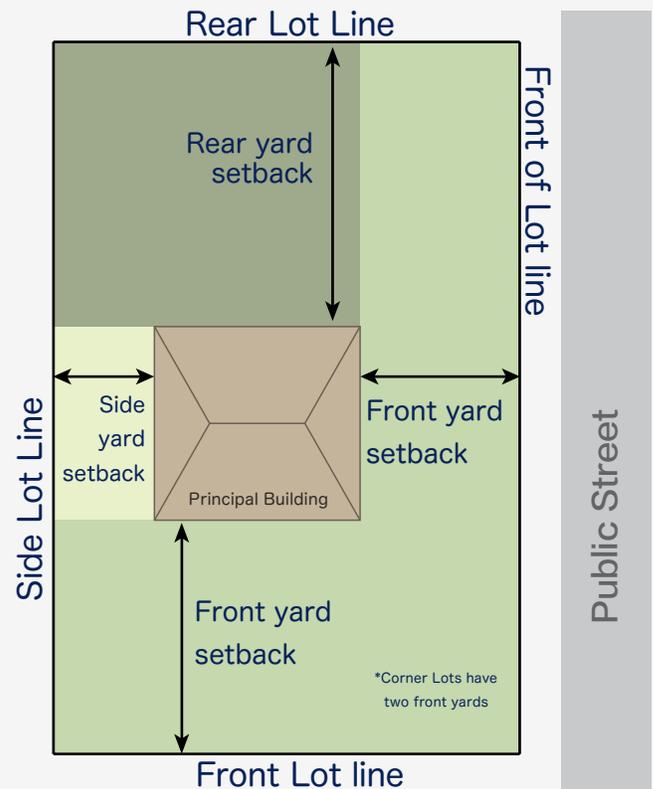
7. RESIDENTIAL DISTRICT REQUIREMENTS

b. Building Setback Examples

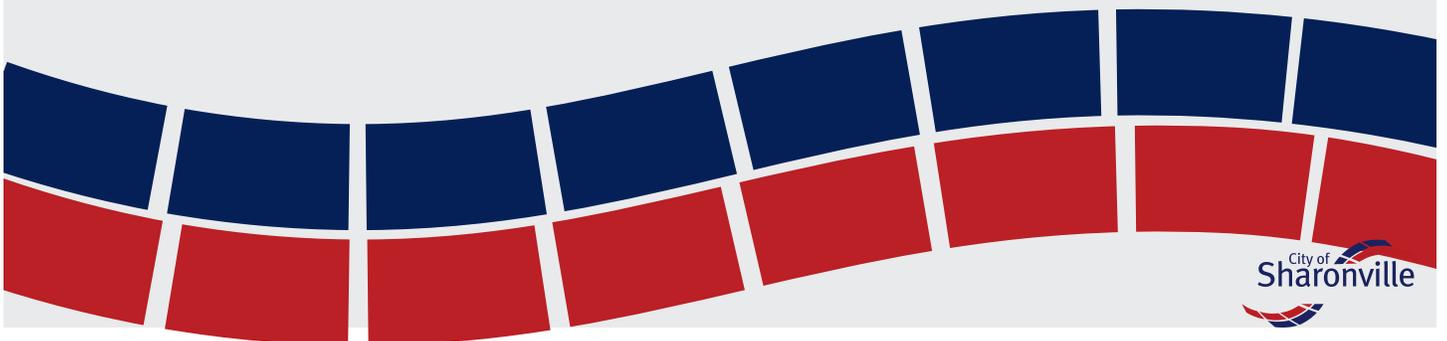
INTERIOR LOT



CORNER LOT



Public Street



8. CONSTRUCTION PLANS AND DETAILS

When Submitting a Permit, you must include:

1. Permit Application

The application can be found in this document, the application then must be emailed or dropped off.

Please email the required information to permits@cityofsharonville.com

2. Site or Plot Plan



Example of Site Plan

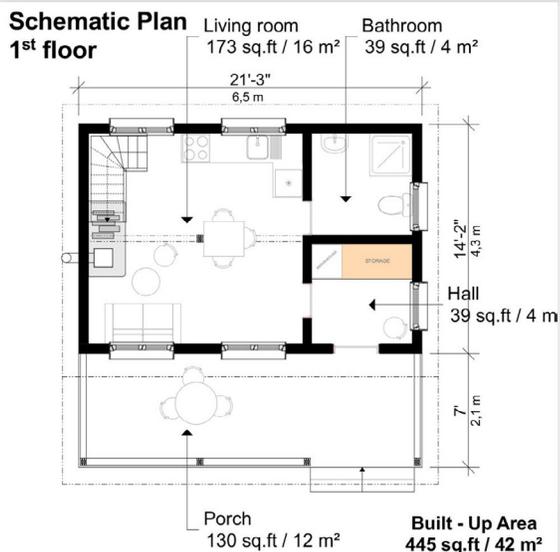
Using the **CAGIS** website to find an aerial, please make sure to add the changes in their proper location. The picture should show the property lines along with the aerial image. These are both layers included within the website. The Community Development Office can also help in the creation of site plans.

To visit CAGIS:
<https://cagis.hamilton-co.org/cagisonline/>

8. CONSTRUCTION DETAILS

When Submitting a Permit, you must include:

3. Construction Plans



You may submit the application and construction plans in paper format, (drawn to scale,) providing building details, inclusive of purposed work, floor plans, and any structural details of the residential building project. You may submit via email at the email address below.

Send all plans and applications to:
permits@cityofsharonville.com



9. ZONING CODE REGULATIONS

a. Accessory Structures

Structures Less Than 200 Sq. Ft

- \$40 Zoning permit required
- Electric Permit may also be required.
- Minimum of 5 foot setback from side and rear property lines
- Minimum of 5 foot setback from principal building (House)
- Must be connected by a paved driveway if intended to be used as a garage or for vehicle storage.
- Structures of a temporary nature (tarpaulin, canvas, plastic, etc.) are prohibited.
- Maximum height of 14 feet.



Structures Greater Than 200 Sq. Ft

- Zoning AND Building Permits required.
- Electric permit may be required
- Minimum of 5 feet from rear and side property lines
- Minimum of 10 feet from principal building (House)
- Must be connected by a paved driveway if intended to be used as garage
- Structures of temporary nature (tarpaulin, canvas, plastic, etc.) are prohibited
- Maximum of 600 square feet.
- Permitted in the rear of the yard only.
- Maximum height of 14 ft.
- Building permit fees apply.



Temporary Portable Storage Units

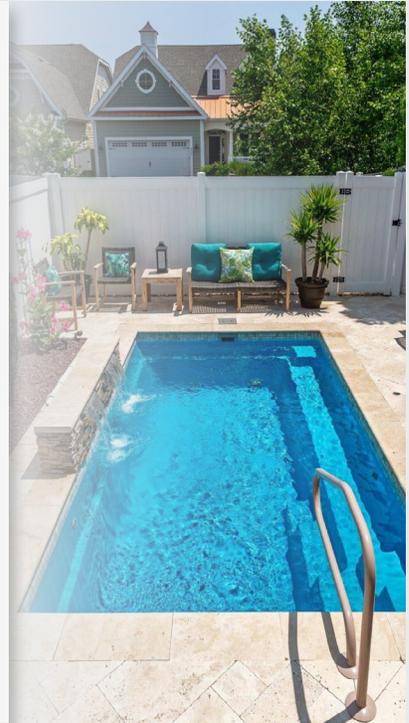
- Zoning permit required - \$40.00
- Must be placed on a paved surface
- Permitted up to 7 days and no more than 14 days in a 180 day period (6 months).
- Cannot store hazardous or explosive materials.
- Cannot be used for human habitation
- Inflatable garages or storage structures shall also be prohibited.
- Portable containers, shipping containers, and semi-tractor trailers used for storage (with or without wheels) shall not be used as permanent accessory structures in any residential zoning districts.



9. ZONING CODE REGULATIONS

b. Swimming Pools

- Zoning permit required - \$40.00.
- Not to exceed 54 inches in height above ground.
- Every swimming pool shell be completely enclosed by a fence and/or structure of sturdy construction at least 48 inches in height.
- Enclosure may surround the pool or entire yard
- Access gates into the enclosure shall be self-closing and have a self-latching device.
- Where an above-ground pool structure is used as a barrier or where the barrier is mounted on top of the pool structure and the means of access is a ladder or steps, the ladder or steps shall be capable of being secured, locked, or removed to prevent access.
- Swimming pools must be a setback a minimum of 10 feet from all property lines, measured from edge of water.
- Patios surrounding a pool must be setback a minimum of 5 feet from all property lines.
- All equipment and pumps must be a setback a minimum of 10 feet from all property lines.
- Electric permit may be required.



c. Fences & Walls

- Zoning permit required - \$40.00.
- Permitted in the side and rear yard only.
- Shall not encroach into abutting properties. (Property owners with written permission from neighbors may connect to fences or walls on abutting properties)
- Must not encroach into any utility or storm water easements. (The City of Sharonville is not responsible for determining or locating any private easements)
- Must be maintained and replaced as necessary. Kept clear from brush and vegetation.
- Only one fence is allowed on the property line. New fences are required to be 2.5 feet from existing fence.
- The smooth side of the fence must face outside properties.
- Poles, posts and other mechanisms must be on the interior of the property.
- Diagonal members and other supporting mechanisms must be on the interior of the property.
- Replacement of fences removed by the City of Sharonville or utility company shall be at the property owner's expense.
- Temporary construction fencing is permitted only over the duration of the work.

9. ZONING CODE REGULATIONS

c. Fences & Walls

Materials and Prohibited Fence Types

- Must be Weatherproof or Resistant.
- Fences from rope, string, fabric, netting, or other similar materials, unless approved as temporary construction fencing
- Chain link fencing greater than 4 feet in height in residential districts.
- Snow and deer fencing.
- Non decorative concrete or masonry walls.
- Chicken, hog, rabbit, mesh or woven wire fences, unless mounted on the interior of another approved fence.
- Slats or other materials woven into chain link fencing.
- Electrified wire, barbed wire, unfinished nondurable, sharp edge, broken glass or other materials intended to inflict harm.
- Plywood, particle board, fiberglass, corrugated or galvanized sheet metal panels, or other materials deemed unacceptable.

d. Fence and Wall Requirements

- Maximum Height of chain link fence to be 4 feet in any side or rear yard.
- Maximum Height of all other fences to be 6 feet in any side or rear yard.
- Fences and Walls shall follow natural contour of the land on which it is built.
- Solid (Privacy) fences to have 3.5 inches of clearance under the fence to not obstruct movement of storm water through the property.
- Barbed wire and barbed wire fencing is not permitted in residential zoning districts



9. ZONING CODE REGULATIONS

e. Parking and Storage of Recreational and Other Vehicles on Residential Property

Recreational Vehicles (A vehicle designed and constructed to be primarily used for recreational purposes or for the purpose of a temporary dwelling used for travel or vacation) **may only be parked in front of a house on a hard surface driveway** (asphalt or concrete) for a **period not to exceed 72 hours and may not exceed 24 feet in length or 14 feet in height.**

Recreational Vehicles stored (parked for more than 72 hours) on a residential property **must be located on a hard surface driveway** (asphalt or concrete) in the **side or rear yard** and may **not exceed 24 feet in length or 14 feet in height.**



No temporary or permanent human occupancy shall occur within a Recreational Vehicle parked or stored on a residential property.

Recreational Vehicles stored on a designed transport trailer are considered a single unit. More than one recreational vehicle per residential lot, or recreational vehicles larger than 24 feet in length, shall require a Conditional Use Permit issued by the Planning Commission.

Other vehicles such as open and enclosed utility and hauling trailers are **Not Permitted** to be parked or stored on residential properties



For questions regarding parking of Recreational Vehicles and other vehicles on Public Streets please contact the **Sharonville Police Department at 513-563-1147**

10. RESIDENTIAL STORM WATER INFORMATION

a. Important Storm Water Information for Property Owners Regarding Gutters and Downspouts

Questions and complaints often arise regarding storm water being directed onto neighboring properties in single-family residential areas of Sharonville.

Sharonville construction regulations require that all new residential buildings and residential accessory buildings over 600 square feet be equipped with gutters and downspouts.



In addition, there is a tiered system for all drains, gutters and downspouts to be connected to a storm water storm sewer. First, all gutters and downspouts are required to be connected to storm sewers, if they are available. Second, if storm sewers are not available, they should be connected to street gutters (Page 18). New and replacement downspout connections to street gutters require a permit from the Sharonville Public Works Department. Third, if storm sewer or street gutter connections are not possible, the gutters and downspouts may be connected to the natural drainage of the lot where the residential building is located. Natural drainage areas of single-family residential lots, referred to as drainage swales (Figure 2), typically run along side and rear property lines and measure 10 feet in width, typically measuring 5 feet on each side of the property line. In no case should the downspout discharge any closer than 5 feet from a property line.

See page 18 for Diagrams (Figures 1 & 2)

Here are the rules, in order, regarding gutters and downspouts

- 1.** Gutters and downspouts should be connected to storm sewers
- 2.** If storm sewer is not available, gutters and downspouts should be connected to the street gutter in accordance with Figure 1 (Permit is required from Public Works Department).
- 3.** If connection to the street gutter is not possible, the gutters and downspouts may discharge into the natural drainage area of the lot but may not be closer than 5 feet of any property line.

This Third option is the most prominent in the City of Sharonville.

10. RESIDENTIAL STORM WATER INFORMATION

b. Information Regarding Storm Drainage Systems and Sump Pumps

If you live in a platted residential subdivision, there is a chance your property is associated with permanent storm water drainage facilities. These facilities may include storm water detention basins, channels, and drainage swales that must be maintained by the property owner or Home Owners Associations (HOA). The purpose is to effectively transmit storm water away from home foundations towards approved storm water drainage areas. Drainage Swales are typically located along common side or rear property lines.

Storm water drainage issues are a common complaint received by the City from private land owners. Property owners may not be aware that the installation of detached garages, sheds, walkways, driveways, swimming pools, and even landscaping can change the approved permanent storm drainage facility design on a property and create a headache for neighbors. These approved drainage facilities are private and must be maintained by the property owner or HOA.

It's important that property owners be conscious of these approved drainage facilities. If you modify or block a drainage swale or change the direction of natural flow, you may be responsible and liable for damage caused on another property.

No mechanical (sump) pumps are allowed to be tied to the downspout lines that discharge through an underground pipe to the public street, curb, or within 15 feet of a property line. Permits are required for the installation of sump pump drainage lines and are issued by the Plumbing Division of the Hamilton County Public Health Department at [513-946-7800](tel:513-946-7800).

Do not enclose existing drainage swales into a pipe. Drainage swales are designed to be open. By concentrating the storm water flow in a pipe, you could damage neighboring properties. It is better to work with your neighbors to find a solution for any water problems. Open swales are the best environmental solution to storm water when the storm water infiltrates or drains away within 24 hours.

All drains, gutters and downspouts shall be connected to storm sewers; if they are unavailable, they should be connected to street gutters. If neither is available, then they shall be connected to the natural drainage of the lot.

Keep the drainage swale clear of brush and logs. Never put leaves, mulch, or grass clippings in or near a stream or drainage swale. Never plant trees or install landscaping in an approved storm water drainage swale.



Open Drainage Swale



Blocked Drainage Swale

10. RESIDENTIAL STORM WATER INFORMATION

C. Construction Figure Examples of Drainage Systems

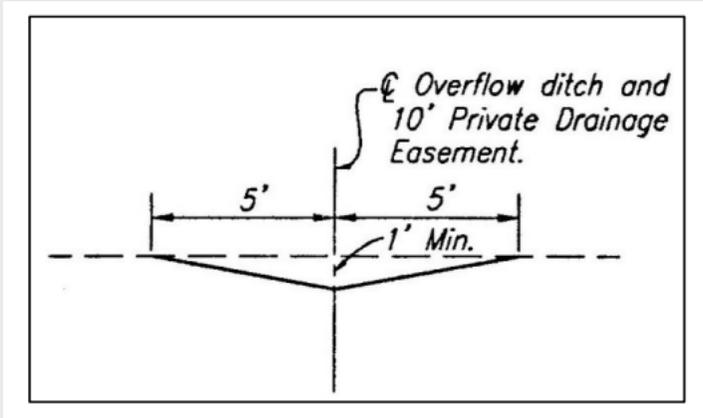


Figure 1

Cross section of typical residential drainage swale along a common

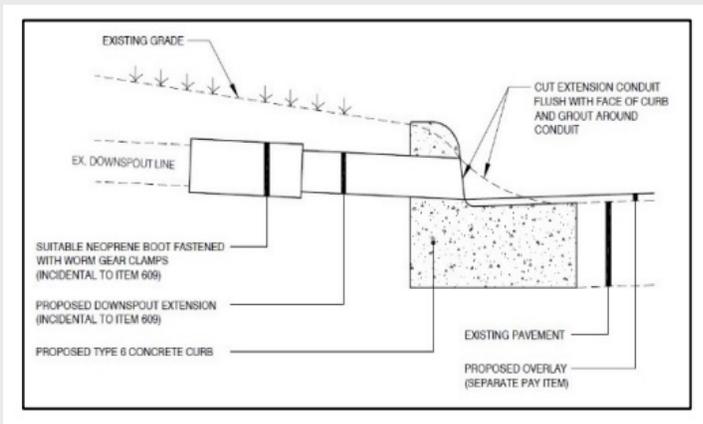
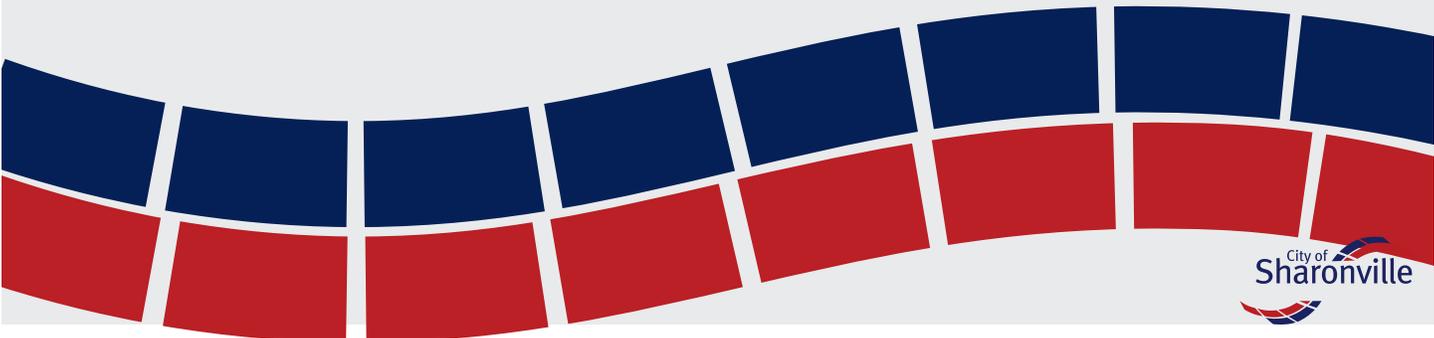


Figure 2

Construction detail of downspout through curb into street gutter.



11. TREES AND LANDSCAPING ON RESIDENTIAL PROPERTY



The City of Sharonville is fortunate to have an abundance of large and mature trees throughout the many residential areas. But as a developed community, many homes are in close proximity to one another — this combined with the age and size of many trees often results in confusion or conflict surrounding the care and responsibility for those trees.

The City frequently receives questions from concerned residents about trees on privately owned residential properties, particularly trees along or near property lines that over-hang property lines and buildings. The City of Sharonville has no enforceable regulations that compel a property owner to trim or remove trees except in cases where the trees were required to be planted as part of an official city approval of a site plan. The city does enforce tree trimming or removal when trees or limbs block public roadways, sidewalks, or public rights-of-way. Therefore, all issues involving trees strictly on private property should be resolved by the affected owners.

Property owners have the right to trim branches and limbs that extend past a property line onto their property. However, the law only allows tree trimming and tree cutting up to the property line. You are not allowed to go onto a neighboring property to cut or destroy a tree, unless you have permission to do so from the property owner. However, if cutting or removing limbs that cross a property line onto your property damages or destroys a tree, you could also potentially be liable to replace or compensate the owner for the tree.

It is encouraged that you consult your neighbor directly about any concerns regarding trees. Residents are encouraged to resolve tree-related questions or disputes without involving the city. This resolution usually can be accomplished, or at least initiated, by simply making a polite inquiry or request of the other party. If the parties are unable to agree on tree ownership or maintenance, the conflict remains a private civil issue and either party may want to consider consulting an attorney.

Residents interested in undertaking tree maintenance or removal that goes beyond the scope of ordinary yard work are encouraged to contact and get estimates from a qualified tree service. Make sure you ask to see proof of the service's insurance.

12. EXCAVATIONS

1113.05 Removal of Soil Protection and Drainage Course

No building or structure shall be erected within any areas described by the City Engineer as a drainage course. For the purpose of this code, a drainage course included any area such as drainage ways, channels, stream and creeks designated as such on geodetic or city topographic maps, and further included any area designed or intended for use in drainage purpose as shown on a recorded subdivision.

No filling of land or excavation of land shall be permitted within a drainage course, or on any lands within 100 feet or more than 100 feet when designated on the zoning map, of the center line of such drainage course except upon issuance of a certificate by the City Engineer that such filling shall not obstruct the flow of the water or otherwise reduce the water carrying capacity of such drainage course, or impair the design and character of such drainage course.

13. RESIDENTIAL DRIVEWAYS

The construction or expansion of private residential driveways are regulated by Chapter 1121.03 of the Sharonville Zoning Ordinance.

- Driveways shall be set back a minimum of one foot from all lot lines except from the street lot line.
- Certificate of Zoning Approval and Zoning Permit required (\$40.00 fee).
- Driveways shall maintain proper drainage.
- Driveways shall be a minimum of eight feet wide.
- The angle of intersection between the driveway and the street shall be between 70 and 90 degrees.
- The surface of the driveway shall be paved with a hard, durable, dust free surface such as asphalt or concrete (compact gravel prohibited).
- A street opening permit issued by Public Works department is required for work within the public right of way. Please contact 513-563-1177.

14. FLOODPLAIN DEVELOPMENT

FEMA Floodplain

The City of Sharonville administers the Flood Damage Reduction Ordinance, which applies to all properties in the City of Sharonville that are located in the FEMA 100-year designated floodplain. Approximately 20% or more of properties in Sharonville are located in the FEMA designated floodplain. This city also assists and advise property owners with Elevation Certificates, processes and approves Special Flood Hazard Area (SFHA) permits for work in the designated floodplain. The City also partners with the Mill Creek Alliance (MCA) to highlight the Mill Creek corridor and the creek as a natural assets for the region.

The National Flood Insurance Program (NFIP) is managed by FEMA and is delivered to the public by a network of more than 47 insurance companies and the NFIP Direct.

Floods can happen anywhere. Most homeowners insurance does not cover flood damage. Flood insurance is a separate policy that can cover buildings, the contents in a building, or both, so it is important to protect your most important assets — your home, your business, your possessions.

The NFIP provides flood insurance to property owners, renters and businesses, and having this coverage helps them recover faster when floodwaters recede. The NFIP works with communities required to adopt and enforce floodplain management regulations that help mitigate flooding effects.

Flood insurance is available to anyone living in one of the 22,600 participating NFIP communities. Homes and businesses in high-risk flood areas with mortgages from government-backed lenders are required to have flood insurance.

To search for properties located within the FEMA 100 - year floodplain, visit:
<https://msc.fema.gov/portal/home>

To get more information on Flood Insurance, visit:
<https://www.fema.gov/flood-insurance> and <https://www.floodsmart.gov/>

Code Enforcement Action!

Once a potential violation is reported, it is added to the list for upcoming inspection to determine if any potential code violations exist. If a violation is found, a written Courtesy Letter or Zoning/Property Maintenance Violation Enforcement Notice is issued to the owner of the property with a time limit to remedy the situation. After the time limit has passed, a follow up inspection is performed to determine if the initial violation still exists. If on the compliance date the violation is addressed the case is closed. The case is also closed if the owner is found to have addressed the violation prior to the compliance date.

Noncompliance with Code Enforcement may result in Mayor's Court action.

Reporting Potential Violations:

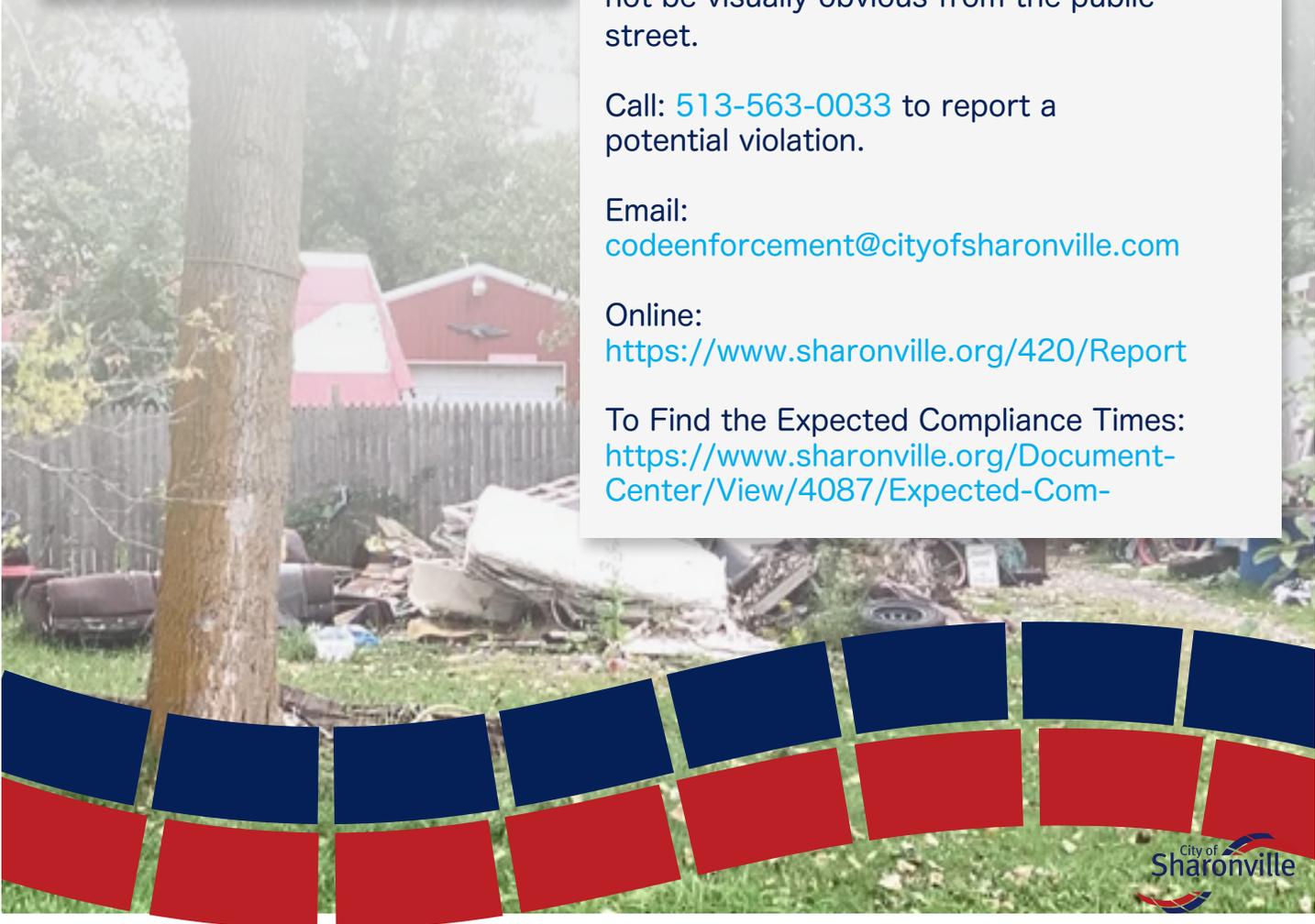
When reporting a potential violation, please have the address if possible, or other descriptive information if the violation will not be visually obvious from the public street.

Call: [513-563-0033](tel:513-563-0033) to report a potential violation.

Email:
codeenforcement@cityofsharonville.com

Online:
<https://www.sharonville.org/420/Report>

To Find the Expected Compliance Times:
<https://www.sharonville.org/Document-Center/View/4087/Expected-Com->



a. Hamilton County Home Improvement Program (HIP)

The Hamilton County Home Improvement Program (HIP) is an initiative of the Hamilton County Commissioners and the Hamilton County Treasurer. The "HIP" loan allows homeowners in Hamilton County communities to borrow money to repair or remodel their homes at interest rates 3% below the lowest rate a bank would normally offer.

- Loans at 3% below market rate, 5 year term - only one outstanding loan at any given time
- All Hamilton County communities eligible
- No Income Restrictions or limits (must be able to meet bank's credit requirements)
- Loans capped at \$50,000
- For one-family, or two-family properties valued up to \$350,000 (based on Hamilton County Auditor's appraisal)
- Owner-occupied dwellings
- No property value limit on multi-family dwellings (three or more units)
- Loans can be used for alteration, repair, maintenance, or improvement
- Can also be used for code violation compliance and property upgrades



Loans may be used for:

- **Bathrooms**
 - **Decks**
 - **Kitchen Remodeling**
 - **Plumbing**
 - **Ceilings & Walls**
 - **Garages**
 - **Landscaping**
 - **Room Additions**
 - **Central Air & Furnaces**
 - **Gutters & Roofs**
 - **Paint & Carpeting**
 - **Siding, Windows & Doors**
- ... and much more!



For more information on the Hamilton County HIP, please visit:

https://www.hamiltoncountyohio.gov/community/home_improvement_program_hip.php#collapselinks-472-20b0

or call: (513) 946-4487

b. People Working Cooperatively (PWC)

Need Help With Exterior Home Repairs? We're Here for You.

The City of Sharonville has partnered with People Working Cooperatively (PWC) to offer the Sharonville Home Improvement Program, designed to help eligible homeowners make important exterior repairs to their homes. With more than 50 years of construction experience, PWC provides over 9,000 home repair services each year throughout the Greater Cincinnati area. Their trusted team works alongside the city to help homeowners maintain safe, weather-resistant, and well-kept homes.

What Types of Repairs Are Covered?

This program focuses on exterior home repairs, including (but not limited to):

- Exterior walls (repairing holes, breaks, loose or rotting materials, and maintaining weatherproofing such as painting)
- Roofs and roof drainage (including gutters and downspouts)
- Roof flashing and roof overhang extensions
- Walking surfaces that provide primary access to the home, such as stairs, porches, and decks
- Handrails and ADA ramps
- Exterior doors and door frames
- Windows and window frames

Who Is Eligible?

If you're a Sharonville homeowner, you may qualify! To get started, you'll need to apply to PWC, and the good news is they can begin the application process right over the phone.

General program guidelines include:

- You must be a resident homeowner within the City of Sharonville
- Your household income must meet program guidelines based on HUD income requirements
- The home must be owner-occupied
- The home must be your primary residence
- City funding covers up to \$2,500 in exterior repairs (exceptions may be considered)
- Funding is limited to exterior repairs only
- If you're unsure whether you qualify, we encourage you to apply! PWC is happy to walk you through the process and answer your questions.



The City of Sharonville Home Improvement Program is FREE to those that qualify, but funds are limited. If you meet the general program guidelines you may be eligible for home improvements!

Call PWC today: 513-351-7921 to see if you qualify!

How do I file property maintenance or other complaints?

Please fill out the online form with as much detail as possible.

<https://www.sharonville.org/500/Code-Enforcement---Property-Maintenance->

How do I report tall grass and weeds?

Please contact the Community Development department at [513-563-0033](tel:513-563-0033) and the complaint will be taken and assigned. An inspector will contact the property owner to cut grass of over 8 inches.

Reporting a concern: Who can I contact regarding the Utility Aggregation Program?

Questions regarding the Utility Aggregation Program may be directed to:

Jen Kist |The Utilities Group | [513-481-7954](tel:513-481-7954)

How much will my Building Permit cost?

Generally, Fees for Building Permits are assessed as follows:

Residential: Approval fee: 1% of project cost (\$50.00 minimum) + Plan Review fee: \$75.00 / Hour + 1% State of Ohio surcharge

Permit fees are assessed following approval of the submitted plans. Fees can be paid with cash, check or credit card (3.5% admin fee applies to card payments).

The Community Development Department's complete fee schedule:

<https://www.sharonville.org/DocumentCenter/View/1964/Fee-Schedule>

How does the City of Sharonville regulate parking/storage of Recreational Vehicles on residential properties?

Regulations regarding the parking and storage of Recreational Vehicles:

<https://www.sharonville.org/DocumentCenter/View/3412/Parking-and-Storage-of-Vehicles-in-Residential-Districts>

How does the City of Sharonville regulate Short Term Rentals?

On July 16, 2019, Sharonville City Council enacted an ordinance to prohibit short term rentals (rentals of less than 30 days) of single-family homes, located in any single family zoning district. View Short Term Rental Ordinance:

<https://www.sharonville.org/DocumentCenter/View/3347/Short-Term-Rental-Ordinance>



City of
Sharonville
COMMUNITY DEVELOPMENT

Contact Us!

City Administration Building
10900 Reading Road Sharonville, OH 45241

Community Development Team

Phone: [\(513\)-563-0033](tel:(513)-563-0033)

